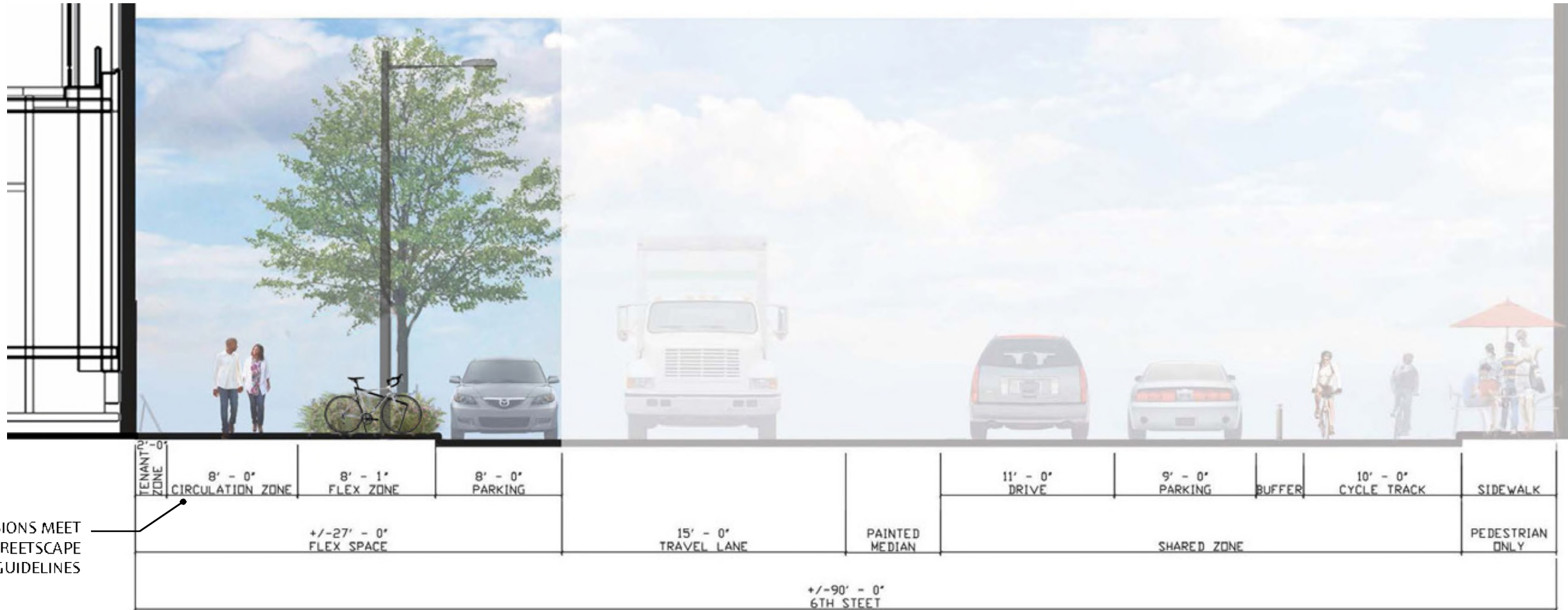
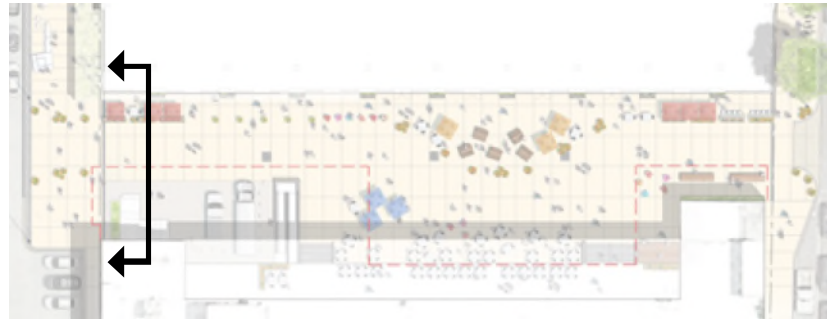
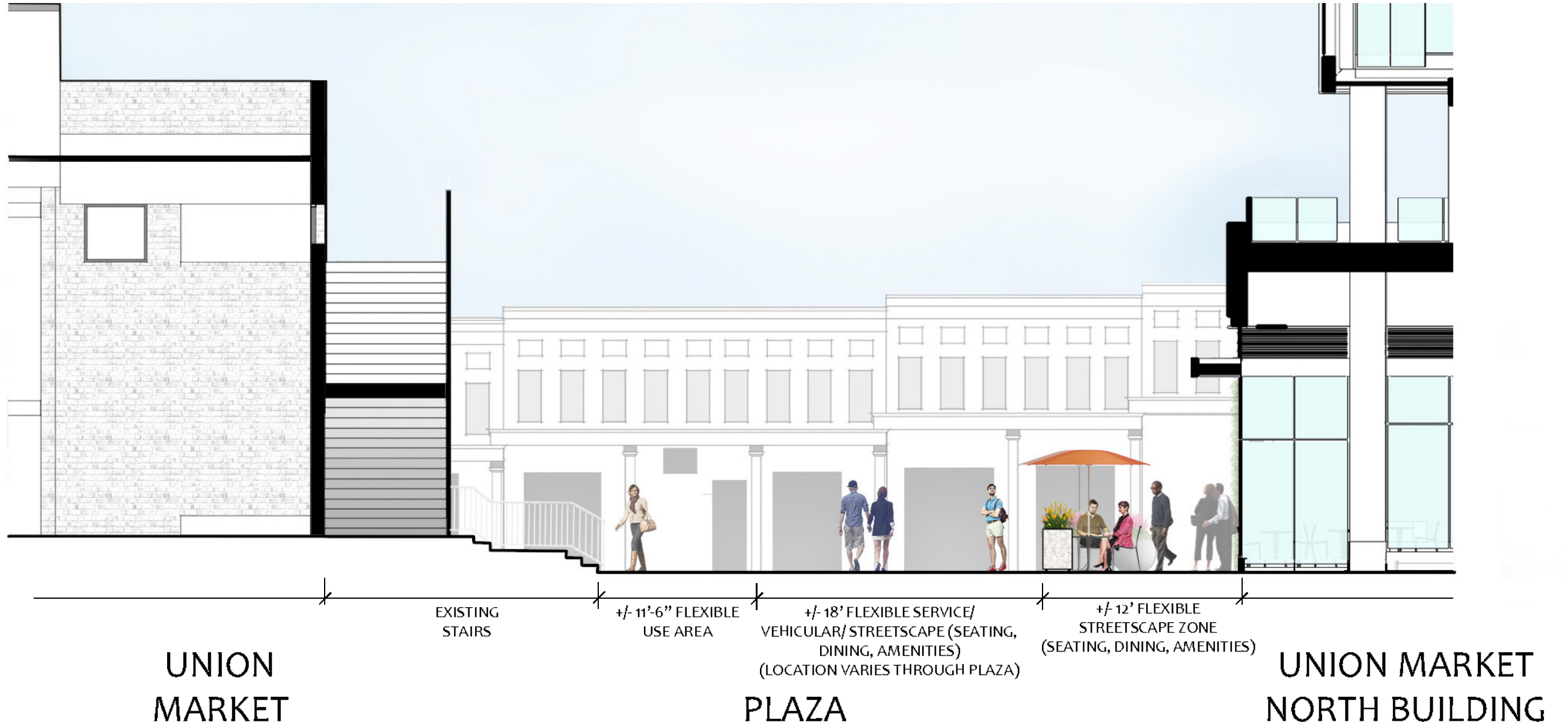


UNION MARKET NORTH
MIXED-USE DEVELOPMENT

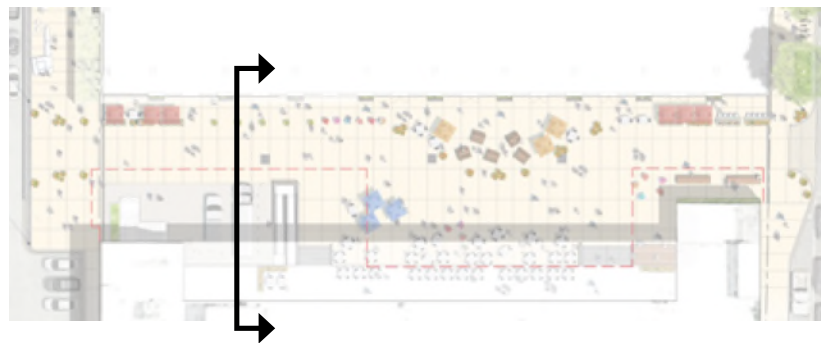
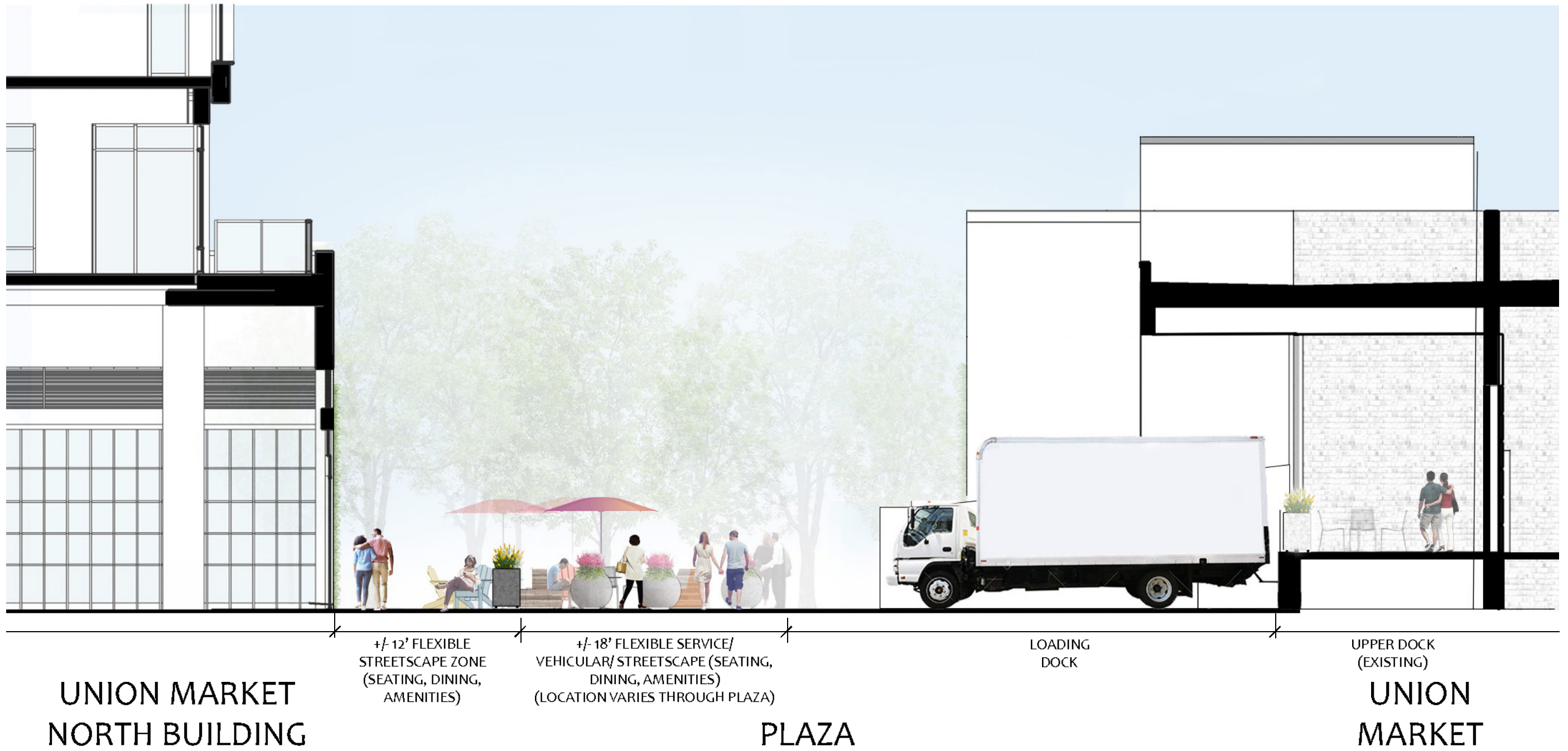


SIDEWALK DIMENSIONS MEET
UNION MARKET STREETSCAPE
GUIDELINES

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+/- 34'-6" FLEXIBLE STREETSCAPE ZONE
(SEATING, DINING, AMENITIES)

+/- 18' FLEXIBLE SERVICE/
VEHICULAR/ STREETSCAPE (SEATING,
DINING, AMENITIES)
(LOCATION VARIES THROUGH PLAZA)

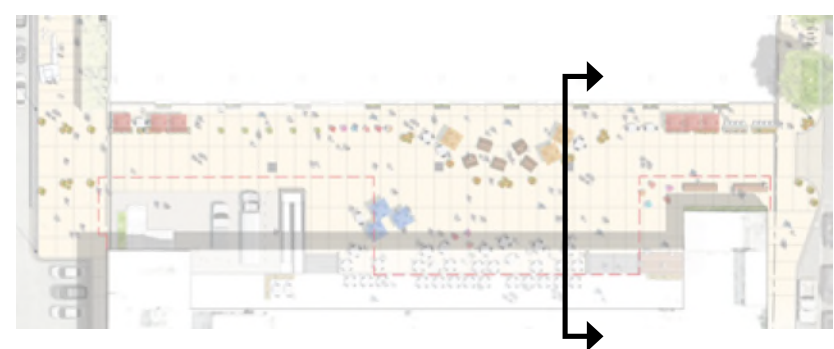
+/- 18' FLEXIBLE USE AREA

UPPER DOCK
(EXISTING)

UNION MARKET
NORTH BUILDING

PLAZA

UNION
MARKET



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UNION MARKET
NORTH BUILDING

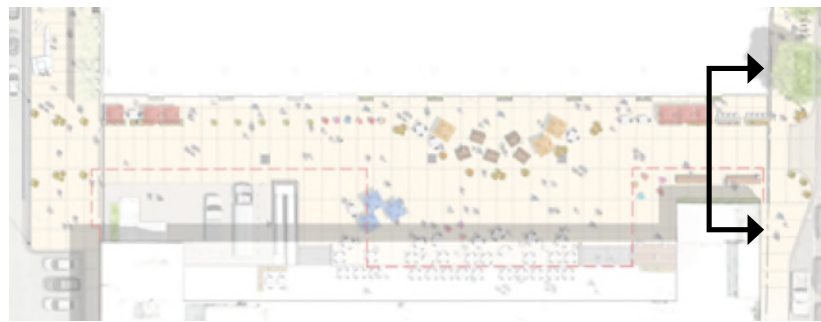
+/- 12' FLEXIBLE
STREETSCAPE ZONE
(SEATING, DINING, AMENITIES)

+/- 18' FLEXIBLE SERVICE/
VEHICULAR/ STREETSCAPE (SEATING,
DINING, AMENITIES)
(LOCATION VARIES THROUGH PLAZA)

+/- 14'-1" FLEXIBLE USE AREA

PLAZA

UNION
MARKET

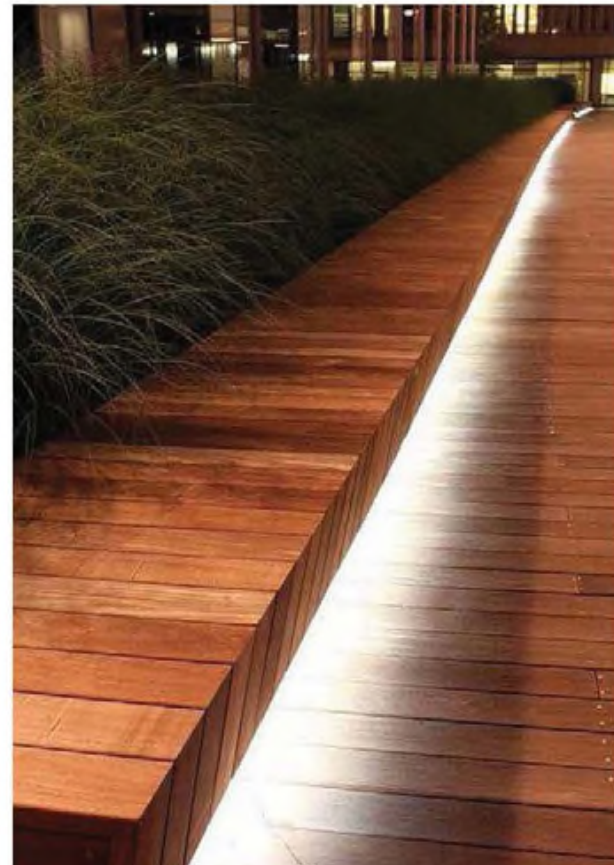


pavers
wood decks
steel
cast in place concrete

pavers (asphalt, concrete, clay and or stone)



wood decks and boardwalks



steel for edges, drain covers, guardrails and handrails, etc.



cast in place concrete





CONCRETE GROUND PLANE



CONCRETE PAVER ACCENT



BOLLARDS/PLANTER BOLLARDS

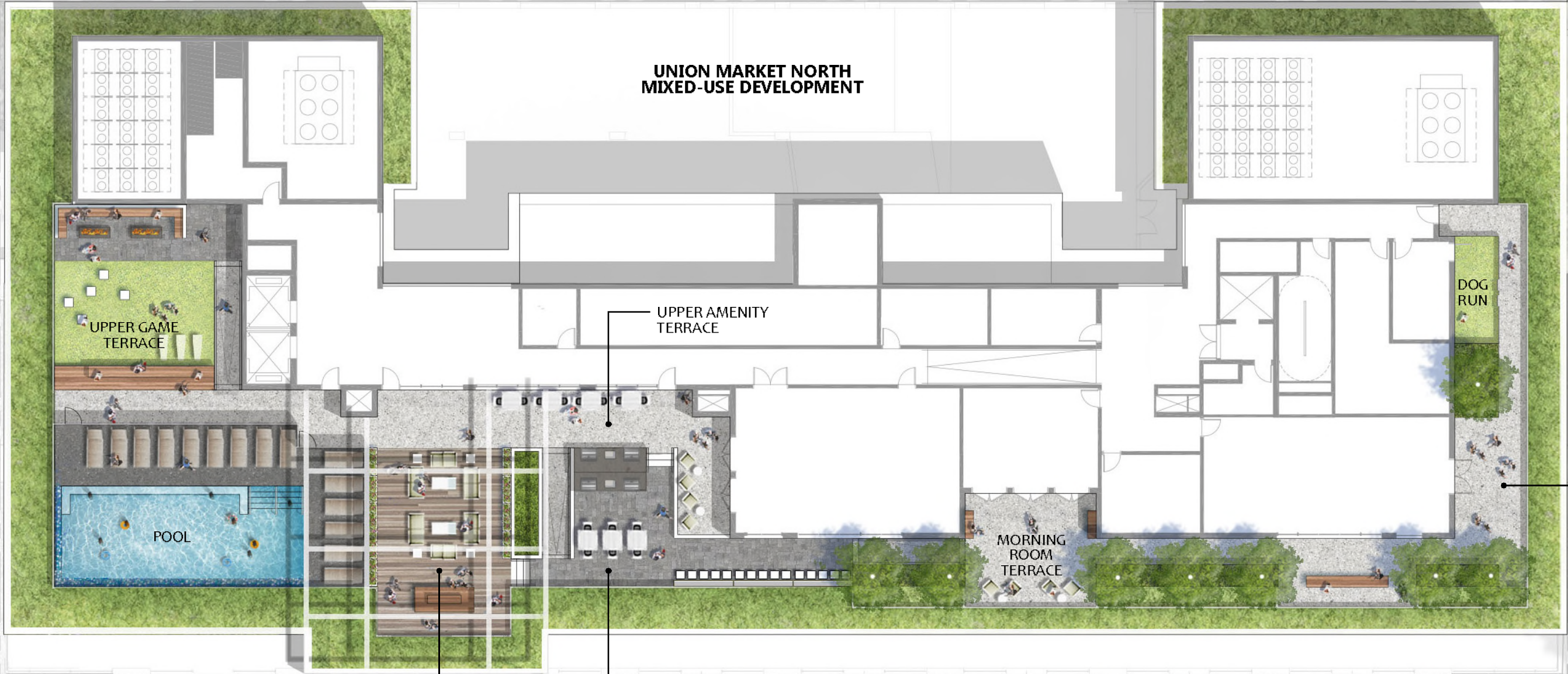


SITE FURNISHINGS

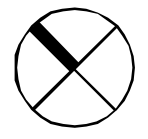


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UNION MARKET NORTH
MIXED-USE DEVELOPMENT



* NOTE: Final design of the rooftop spaces, furnishings and other amenities are shown for illustrative purposes only, and are subject to change during detailed design.



0 20 Ft.

1329 5TH STREET, NE SECOND-STAGE PUD | 08.30.2019

PENTHOUSE ROOFTOP PLAN L14

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STANDARD DRAWING LEGEND

FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE	EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	ONSITE PROPERTY LINE / R.O.W. LINE			OVERHEAD WIRE	
	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE			UNDERGROUND TELEPHONE LINE	
	EASEMENT LINE			UNDERGROUND CABLE LINE	
	SETBACK LINE			STORM SEWER	
				SANITARY SEWER MAIN	
	CONCRETE CURB & GUTTER			HYDRANT	
				SANITARY MANHOLE	
				STORM MANHOLE	
	UTILITY POLE WITH LIGHT			WATER METER	
	POLE LIGHT			WATER VALVE	
	TRAFFIC LIGHT			GAS VALVE	
	UTILITY POLE			GAS METER	
	TYPICAL LIGHT			TYPICAL END SECTION	
	ACORN LIGHT			HEADWALL OR ENDWALL	
	TYPICAL SIGN			YARD INLET	
	PARKING COUNTS			CURB INLET	
				CLEAN OUT	
	CONTOUR LINE			ELECTRIC MANHOLE	
	SPOT ELEVATIONS			TELEPHONE MANHOLE	
				ELECTRIC BOX	
	SANITARY LABEL			ELECTRIC PEDESTAL	
	STORM LABEL			MONITORING WELL	
	SANITARY SEWER LATERAL			TEST PIT	
	UNDERGROUND WATER LINE			BENCHMARK	
	UNDERGROUND ELECTRIC LINE			BORING	
	UNDERGROUND GAS LINE			SIDEWALK	

GENERAL NOTES

1. THIS PLAN IS BASED ON THE FOLLOWING DOCUMENTS AND INFORMATION:

A) ALTA SURVEY ENTITLED, "ALTA/NSPS LAND TITLE SURVEY CAPITOL CITY MARKET, A&T LOT 800, SQUARE 3591, 1324 5TH STREET, NE DISTRICT OF COLUMBIA" PREPARED BY BOHLER ENGINEERING, PROJECT NUMBER SRW172024, DATED 02/26/18.

B) UTILITY AND RIGHT-OF-WAY SURVEY ENTITLED, "UTILITY AND RIGHT-OF-WAY SURVEY, UNION MARKET," PREPARED BY LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING AND LANDSCAPE ARCHITECTS, O.P.C., PROJECT NUMBER 1270033301, DATED 05/08/14.

C) ARCHITECT FILE ENTITLED, "2019 09 05 GABLES UNION MARKET-SHEET - A05 - FLOOR PLAN - GROUND LEVEL.DWG" PREPARED BY HORD COPLAN MACHT, RECEIVED 09/12/19.

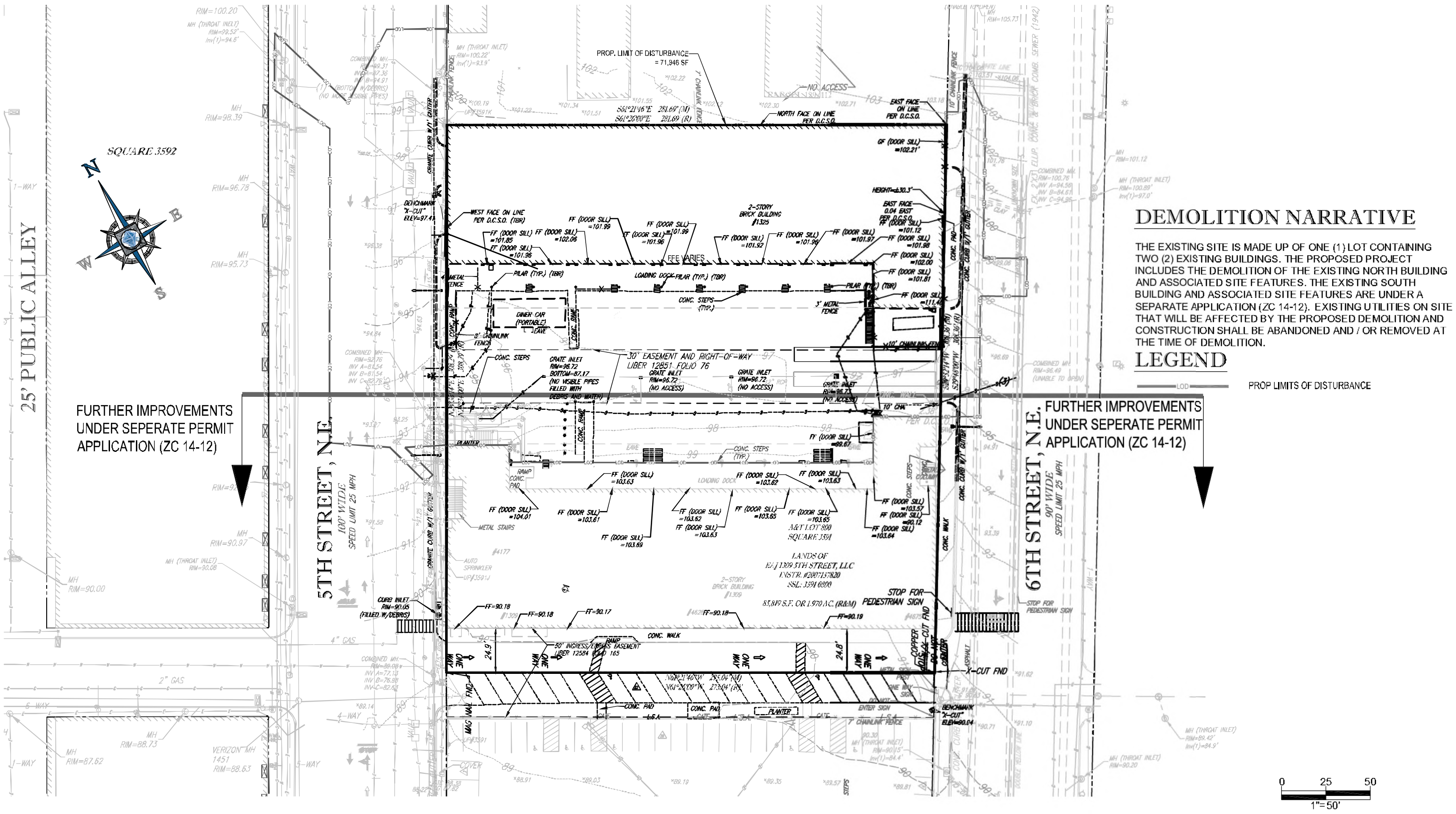
D) LANDSCAPE FILE ENTITLED, "2019017 UNION MARKET HARDSCAPE PLAN - PUD.DWG" PREPARED BY MAHAN RYKIEL, RECEIVED 09/12/19.

2. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

SHEET INDEX

SHEET TITLE	SHEET NUMBER
GENERAL NOTES AND LEGEND	C-1.0
EXISTING CONDITIONS/DEMOLITION PLAN	C-2.0
SITE PLAN	C-3.0
GRADING AND UTILITY PLAN	C-4.0
STORMWATER MANAGEMENT PLAN	C-5.0
GREEN AREA RATIO WORKSHEET	C-5.0A
EROSION AND SEDIMENT CONTROL PLAN	C-6.0

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DEMOLITION NARRATIVE

THE EXISTING SITE IS MADE UP OF ONE (1) LOT CONTAINING TWO (2) EXISTING BUILDINGS. THE PROPOSED PROJECT INCLUDES THE DEMOLITION OF THE EXISTING NORTH BUILDING AND ASSOCIATED SITE FEATURES. THE EXISTING SOUTH BUILDING AND ASSOCIATED SITE FEATURES ARE UNDER A SEPARATE APPLICATION (ZC 14-12). EXISTING UTILITIES ON SITE THAT WILL BE AFFECTED BY THE PROPOSED DEMOLITION AND CONSTRUCTION SHALL BE ABANDONED AND / OR REMOVED AT THE TIME OF DEMOLITION.

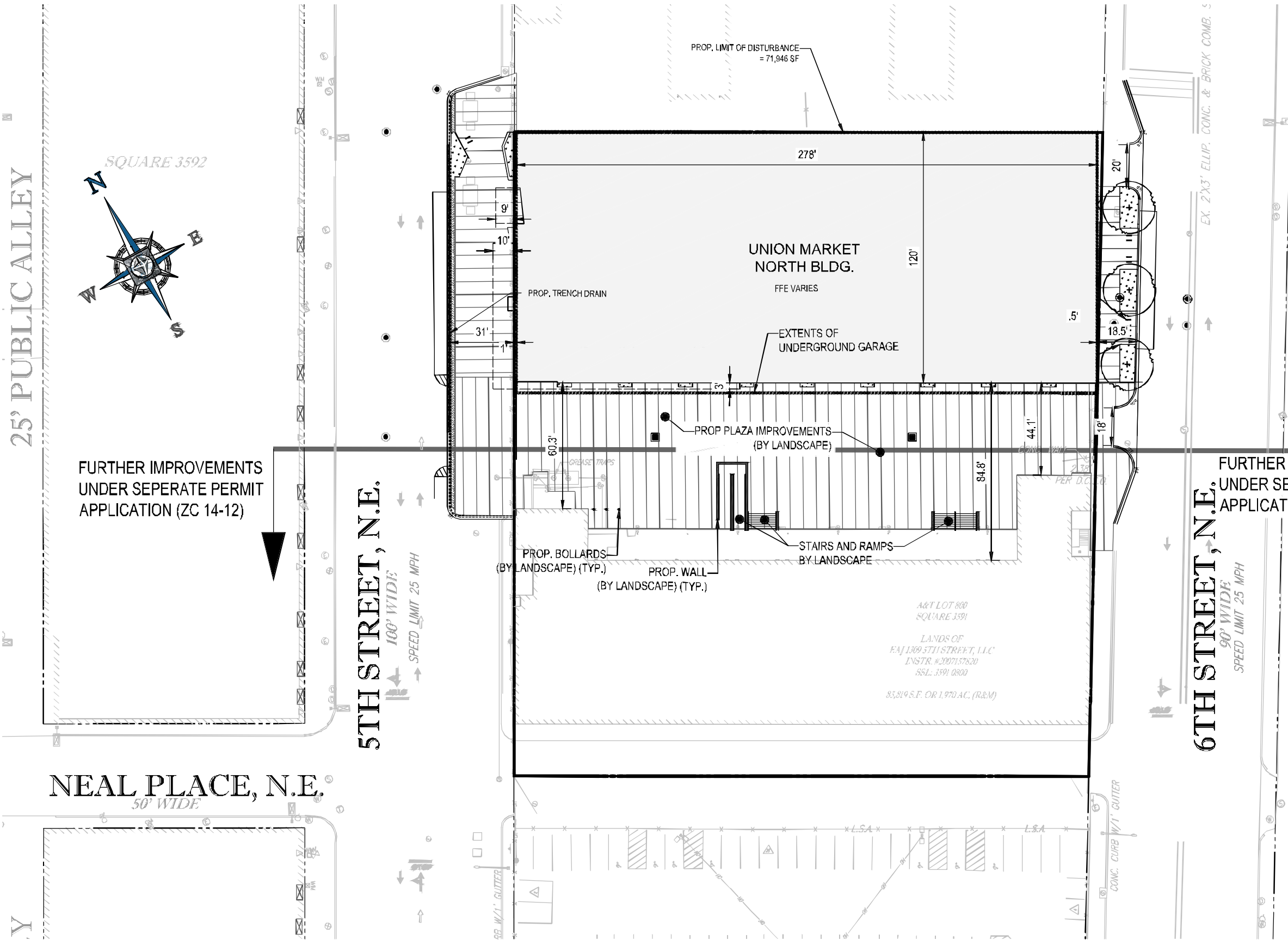
LEGEND

— LOD — PROP LIMITS OF DISTURBANCE

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)


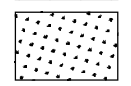
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SITE IMPROVEMENTS NARRATIVE

THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF THE PROPOSED NORTH BUILDING AND ASSOCIATED SITE FEATURES. THE PROJECT ALSO INCLUDES HARDSCAPE AND LANDSCAPE IMPROVEMENTS WITHIN BOTH THE PRIVATE LOT AND PUBLIC RIGHT-OF-WAY. THE PROPOSED NORTH BUILDING WILL CONSIST OF ONE (1) LEVEL OF RETAIL, TEN (10) LEVELS OF RESIDENTIAL SPACE, A PENTHOUSE ROOF LEVEL, AND UNDERGROUND PARKING.

LEGEND

- PROP. CONCRETE PAVEMENT 
- PROP. PLANTING AREA 

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

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GRADING AND UTILITY NARRATIVE

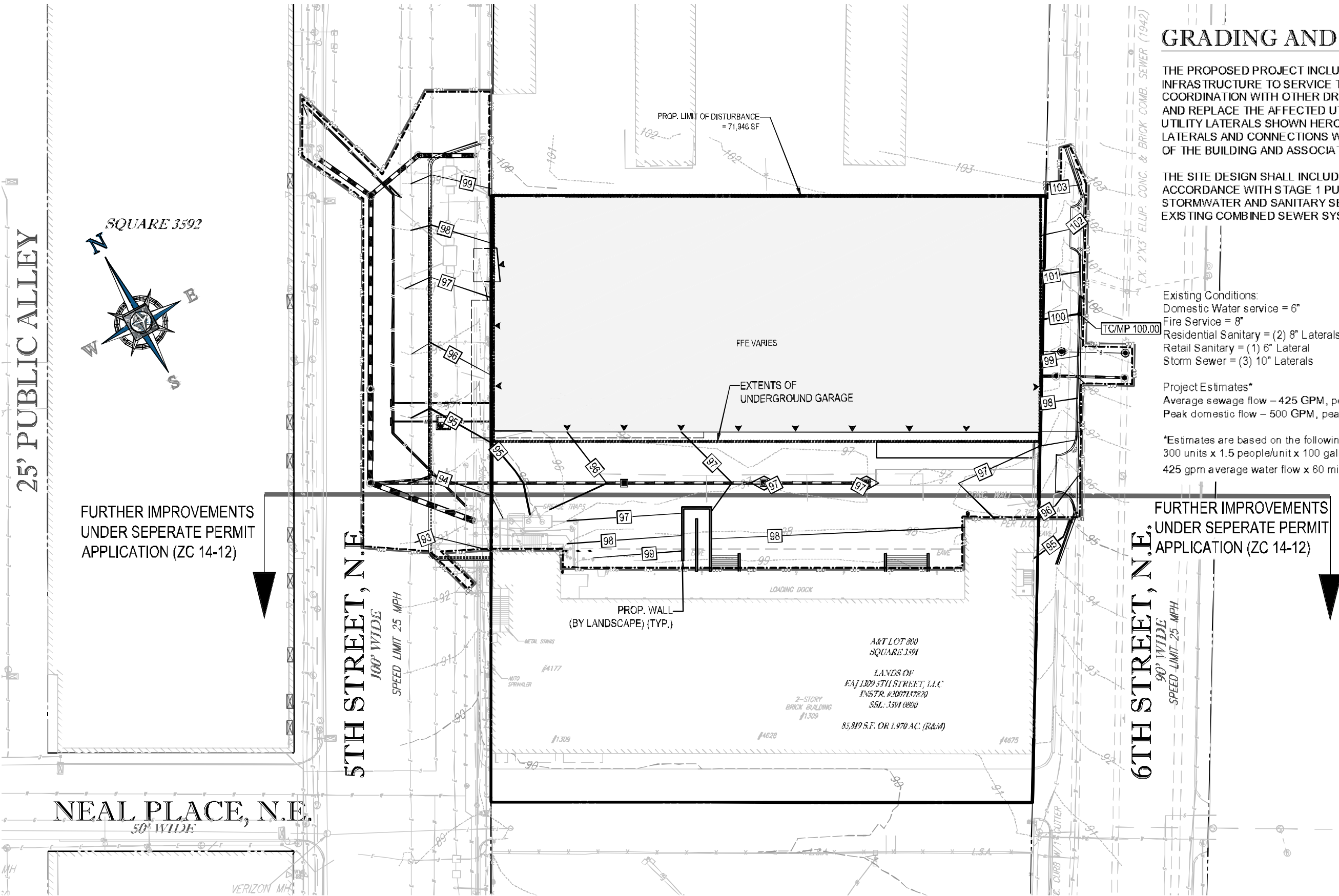
THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF NEW UTILITY INFRASTRUCTURE TO SERVICE THE PROPOSED NORTH BUILDING. COORDINATION WITH OTHER DRY UTILITIES WILL NEED TO BE MADE TO REMOVE AND REPLACE THE AFFECTED UTILITIES FROM SITE DEMOLITION. PROPOSED UTILITY LATERALS SHOWN HERON ARE APPROXIMATE. FINAL LOCATIONS OF LATERALS AND CONNECTIONS WILL BE DETERMINED DURING THE FINAL DESIGN OF THE BUILDING AND ASSOCIATED UTILITY ROOM LOCATIONS.

THE SITE DESIGN SHALL INCLUDE STORMWATER MANAGEMENT MEASURES IN ACCORDANCE WITH STAGE 1 PUD. PRELIMINARY DESIGN INDICATES THAT STORMWATER AND SANITARY SEWER WILL OUTFALL FROM THE SITE TO THE EXISTING COMBINED SEWER SYSTEMS WITHIN 6TH STREET, N.E.

Existing Conditions:
 Domestic Water service = 6"
 Fire Service = 8"
 Residential Sanitary = (2) 8" Laterals
 Retail Sanitary = (1) 6" Lateral
 Storm Sewer = (3) 10" Laterals

Project Estimates*
 Average sewage flow – 425 GPM, peak sewage flow – 650 GPM
 Peak domestic flow – 500 GPM, peak fire flow – 750 GPM

*Estimates are based on the following assumptions:
 300 units x 1.5 people/unit x 100 gallons/person/day = 45,000 gallons/day
 425 gpm average water flow x 60 min/hour x 2 hrs usage/day = 51,000 gallons/day



FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

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STORMWATER MANAGEMENT NARRATIVE

THERE ARE THREE REQUIREMENTS TO SATISFY THE CURRENT STORMWATER REGULATIONS - THE ON-SITE RETENTION VOLUME, THE ON-SITE DETENTION VOLUME AND THE PUBLIC RIGHT-OF-WAY (PROW) RETENTION VOLUME. THE VOLUME REQUIRED TO BE RETAINED ON-SITE (SWRV) IS EQUAL TO APPROXIMATELY 4,000 CUBIC FEET. THE VOLUME REQUIREMENT FOR THE PROW IS EQUAL TO APPROXIMATELY 1,300 CF.

TO SATISFY THE ON-SITE RETENTION VOLUME, THE CURRENT DESIGN INCLUDES GREEN ROOFS AND BIORETENTIONS WITH VARYING MEDIA DEPTHS. THE LOCATION, SIZE AND DEPTH OF THE STORMWATER BMP'S WILL BE DETERMINED WITH FINAL CONSTRUCTION DOCUMENTS, HOWEVER THE FINAL DESIGN WILL MEET THE REQUIRED STORMWATER RETENTION AND DETENTION VOLUME.

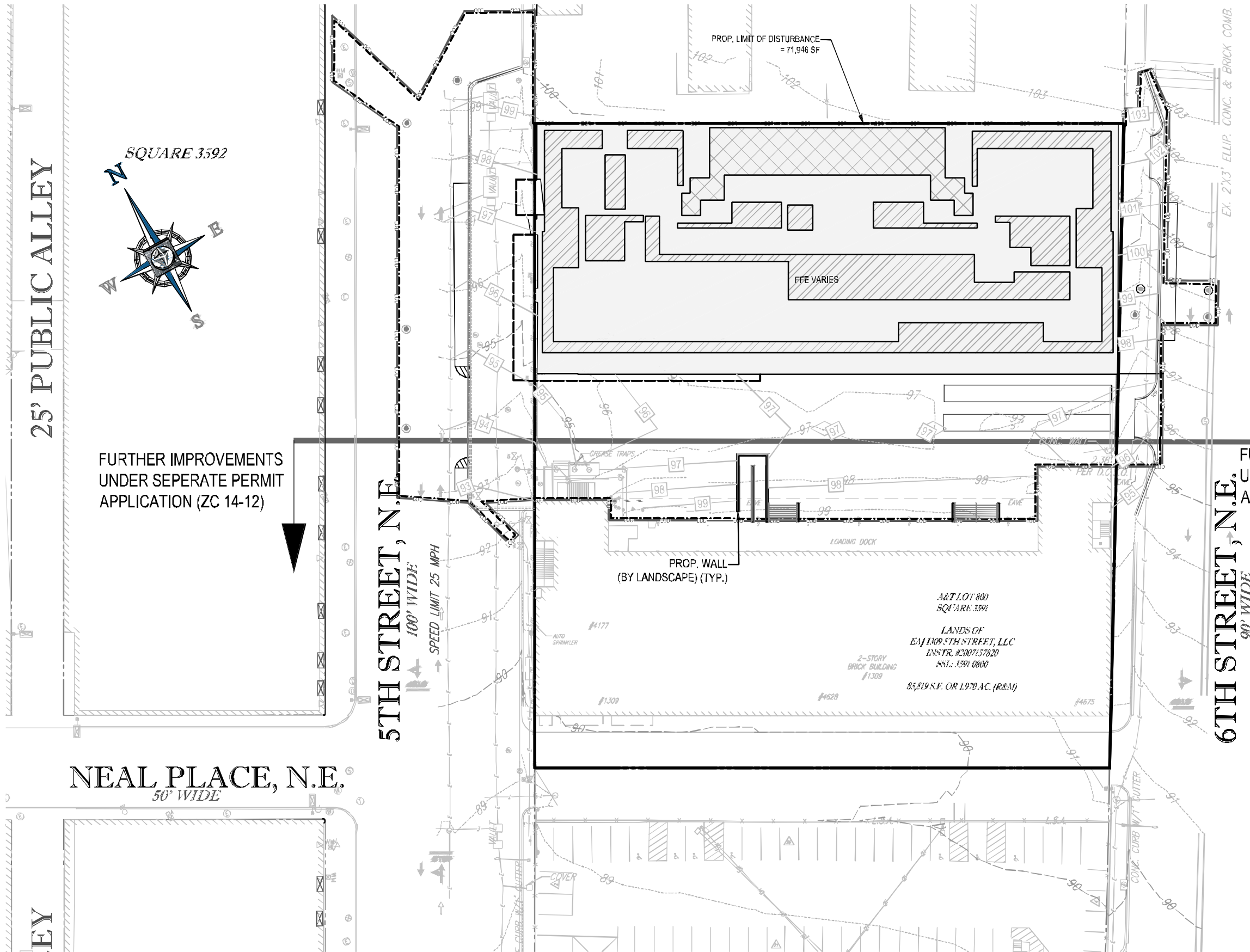
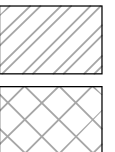
STORMWATER MANAGEMENT WITHIN THE PROW WILL BE TREATED TO THE MAXIMUM EXTENT PRACTICABLE.

GREEN AREA RATIO NARRATIVE

THE GAR FOR THIS SITE IS 0.200. TO SATISFY THE GAR REQUIREMENT, THE CURRENT DESIGN INCLUDES GREEN ROOFS AND BIORETENTIONS WITH VARYING MEDIA DEPTHS. THE LOCATION, SIZE AND DEPTH OF THE GREEN ROOF AND BIORETENTION AREAS WILL BE DETERMINED WITH FINAL CONSTRUCTION DOCUMENTS HOWEVER THE FINAL DESIGN WILL MEET THE REQUIRED GAR OF 0.200.

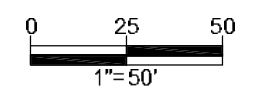
LEGEND

- PROP. GREEN ROOF
- PROP. BIORETENTION



FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)



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*** Address Square Lot Zone District

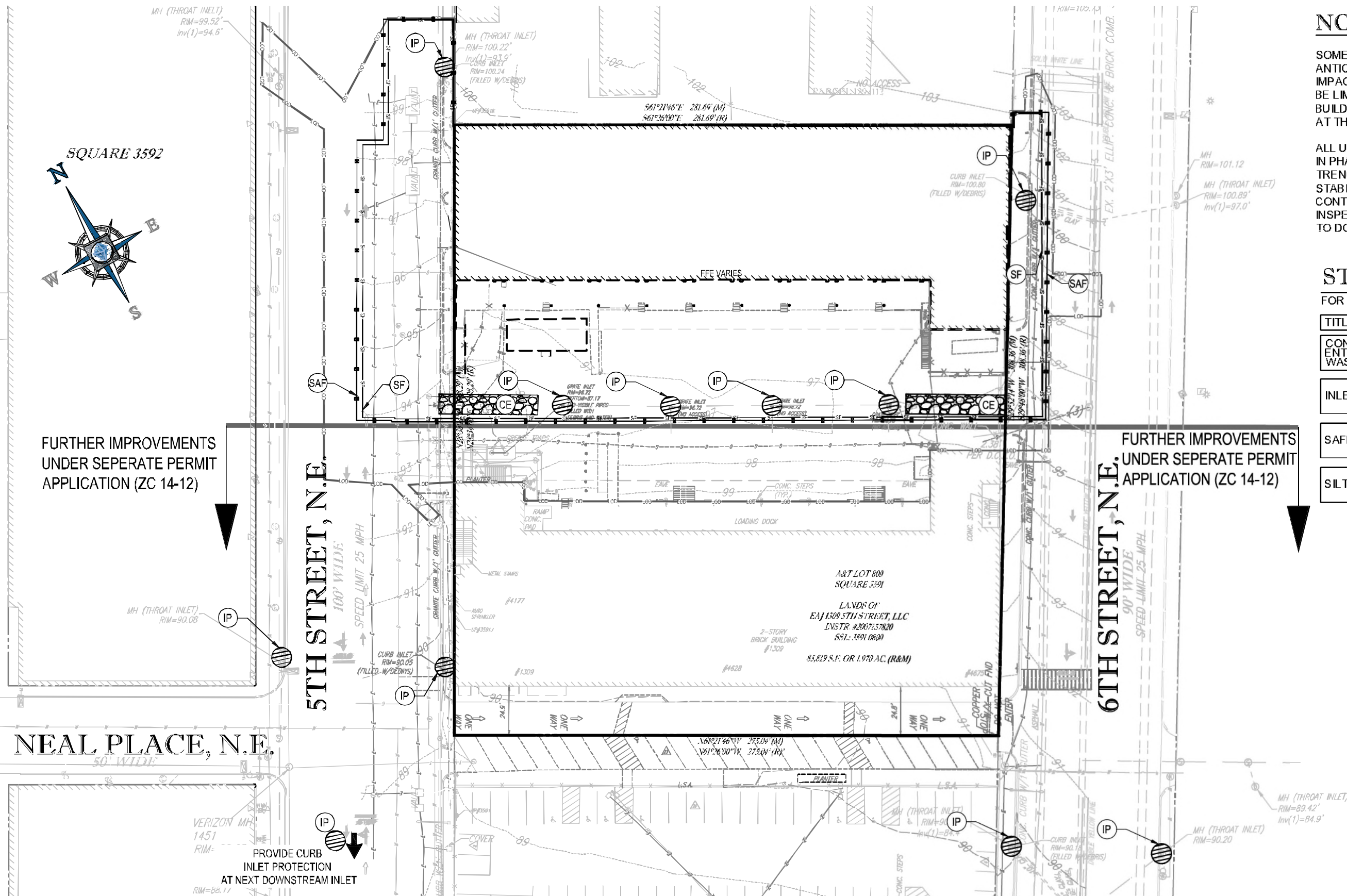
Other

Lot size (enter this value first) * Minimum Score Multiplier GAR Score

Landscape Elements		Square Feet	Factor	Total
A Landscaped areas (select one of the following for each area)				
1	Landscaped areas with a soil depth < 24"	<input type="text" value="square feet"/>	0.30	-
2	Landscaped areas with a soil depth ≥ 24"	<input type="text" value="square feet"/>	0.60	-
3	Bioretention facilities	<input type="text" value="2,800"/>	0.40	1,120.0
B Plantings (credit for plants in landscaped areas from Section A)				
1	Groundcovers, or other plants < 2' height	<input type="text" value="2,800"/>	0.20	560.0
2	Plants ≥ 2' height at maturity - calculated at 9-sf per plant	<input type="text" value="# of plants"/>	0.30	-
3	New trees with less than 40-foot canopy spread - calculated at 50 sq ft per tree	<input type="text" value="# of trees"/>	0.50	-
4	New trees with 40-foot or greater canopy spread - calculated at 250 sq ft per tree	<input type="text" value="# of trees"/>	0.60	-
5	Preservation of existing tree 6" to 12" DBH - calculated at 250 sq ft per tree	<input type="text" value="# of trees"/>	0.70	-
6	Preservation of existing tree 12" to 18" DBH - calculated at 600 sq ft per tree	<input type="text" value="# of trees"/>	0.70	-
7	Preservation of existing trees 18" to 24" DBH - calculated at 1300 sq ft per tree	<input type="text" value="# of trees"/>	0.70	-
8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	<input type="text" value="# of trees"/>	0.80	-

8	Preservation of existing trees 24" DBH or greater - calculated at 2000 sq ft per tree	<input type="text" value="# of trees"/>	0	0.80	<input type="text" value="# of trees"/>	-
9	Vegetated wall, plantings on a vertical surface	<input type="text" value="square feet"/>	0.60	<input type="text" value="square feet"/>	-	
C Vegetated or "green" roofs						
1	Over at least 2" and less than 8" of growth medium	<input type="text" value="square feet"/>	0.60	<input type="text" value="square feet"/>	-	
2	Over at least 8" of growth medium	<input type="text" value="8,400"/>	0.80	<input type="text" value="square feet"/>	6,720.0	
D Permeable Paving***						
1	Permeable paving over 6" to 24" of soil or gravel	<input type="text" value="square feet"/>	0.40	<input type="text" value="square feet"/>	-	
2	Permeable paving over at least 24" of soil or gravel	<input type="text" value="square feet"/>	0.50	<input type="text" value="square feet"/>	-	
E Other						
1	Enhanced tree growth systems***	<input type="text" value="square feet"/>	0.40	<input type="text" value="square feet"/>	-	
2	Renewable energy generation	<input type="text" value="square feet"/>	0.50	<input type="text" value="square feet"/>	-	
3	Approved water features	<input type="text" value="square feet"/>	0.20	<input type="text" value="square feet"/>	-	
		sub-total of sq ft =		14,000		
F Bonuses						
1	Native plant species	<input type="text" value="square feet"/>	0	0.10	<input type="text" value="square feet"/>	-
2	Landscaping in food cultivation	<input type="text" value="square feet"/>	0.10	<input type="text" value="square feet"/>	-	
3	Harvested storm water irrigation	<input type="text" value="square feet"/>	0.10	<input type="text" value="square feet"/>	-	
		Green Area Ratio numerator =		8,400		
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.						
		Total square footage of all permeable paving and enhanced tree growth.		-		

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NOTES

SOME IMPACT TO ADJACENT PROPERTIES IS ANTICIPATED FROM THE PROPOSED CONSTRUCTION. IMPACTS TO THE NORTHERN ADJACENT PROPERTY WILL BE LIMITED TO THE CONSTRUCTION OF THE NORTH BUILDING. SHEETING AND SHORING WILL BE INSTALLED AT THE REQUIRED LOCATIONS AS NEEDED.

ALL UTILITY WORK SHALL BE COMPLETED IN PHASES AND PLATED AS NEEDED TO COVER TRENCHING. ALL TRENCHING WORK SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. CONTRACTOR SHALL WORK CLOSELY WITH THE INSPECTOR TO ENSURE AREAS ARE STABILIZED TO DOEE STANDARD.

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
CONSTRUCTION ENTRANCE WITH WASH RACK	CE	
INLET PROTECTION	IP	
SAFETY FENCE	SAF	
SILT FENCE	SF	

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

FURTHER IMPROVEMENTS UNDER SEPERATE PERMIT APPLICATION (ZC 14-12)

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**DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR**

Washington, D.C., May 8, 2019

Plat for Building Permit of: SQUARE 3591 LOT 5

Scale: 1 inch = 50 feet

Recorded in Book 212 Page 187

Receipt No. 19-05033 Drawn by: A.S.

Furnished to: KAYLA SHATTUCK

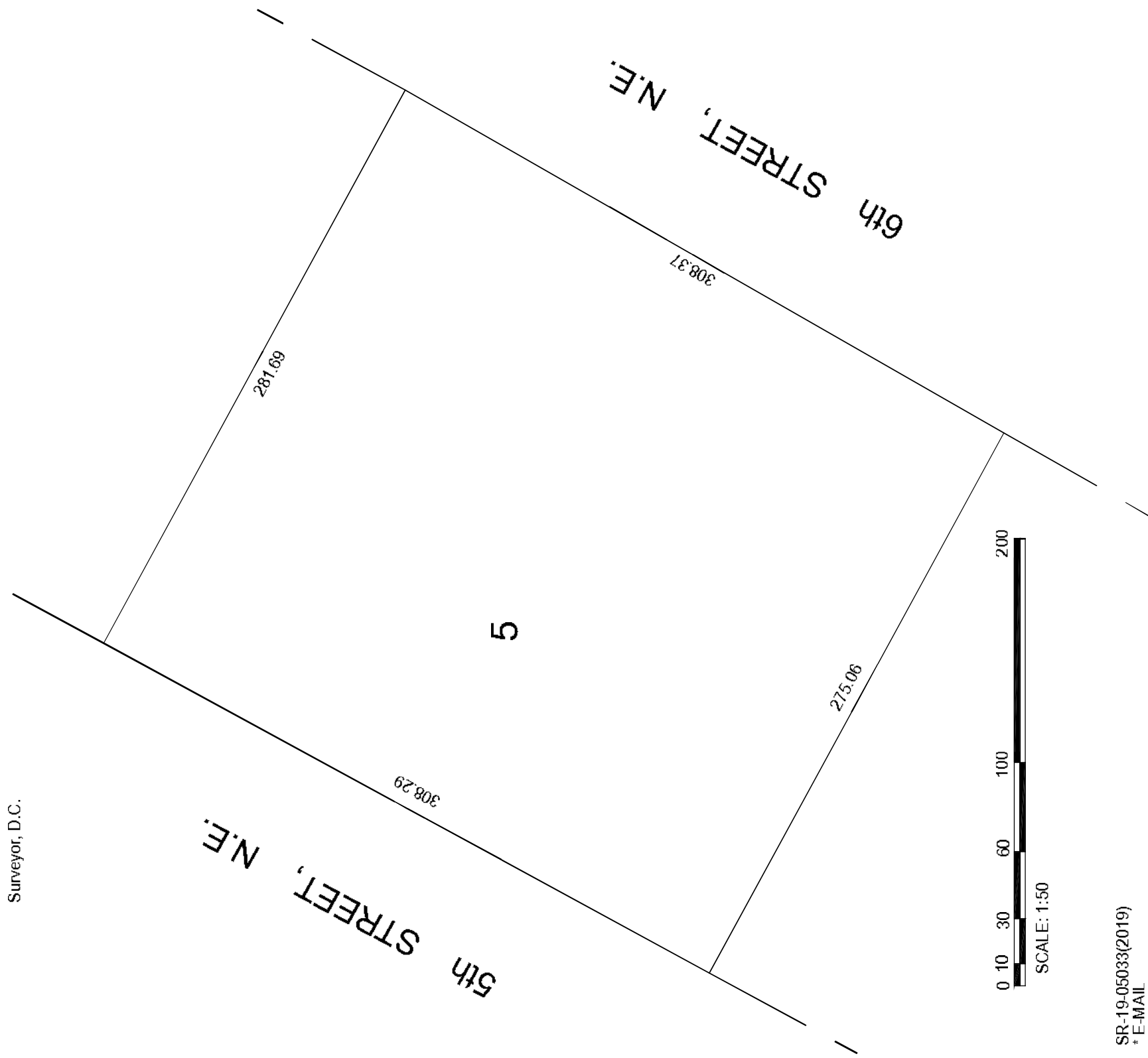
I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
 - 2) all proposed demolition or raze of existing buildings duly labeled as such: all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy previous surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
 - 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot. I also hereby certify that:
 - 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
 - 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
 - 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
 - 4) I have/have not (circle one) filed a division of lots application with the Office of Tax & Revenue; and
 - 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.
- Plats issued by the Office of the Surveyor will be valid for a period of two years from the date of issuance. I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

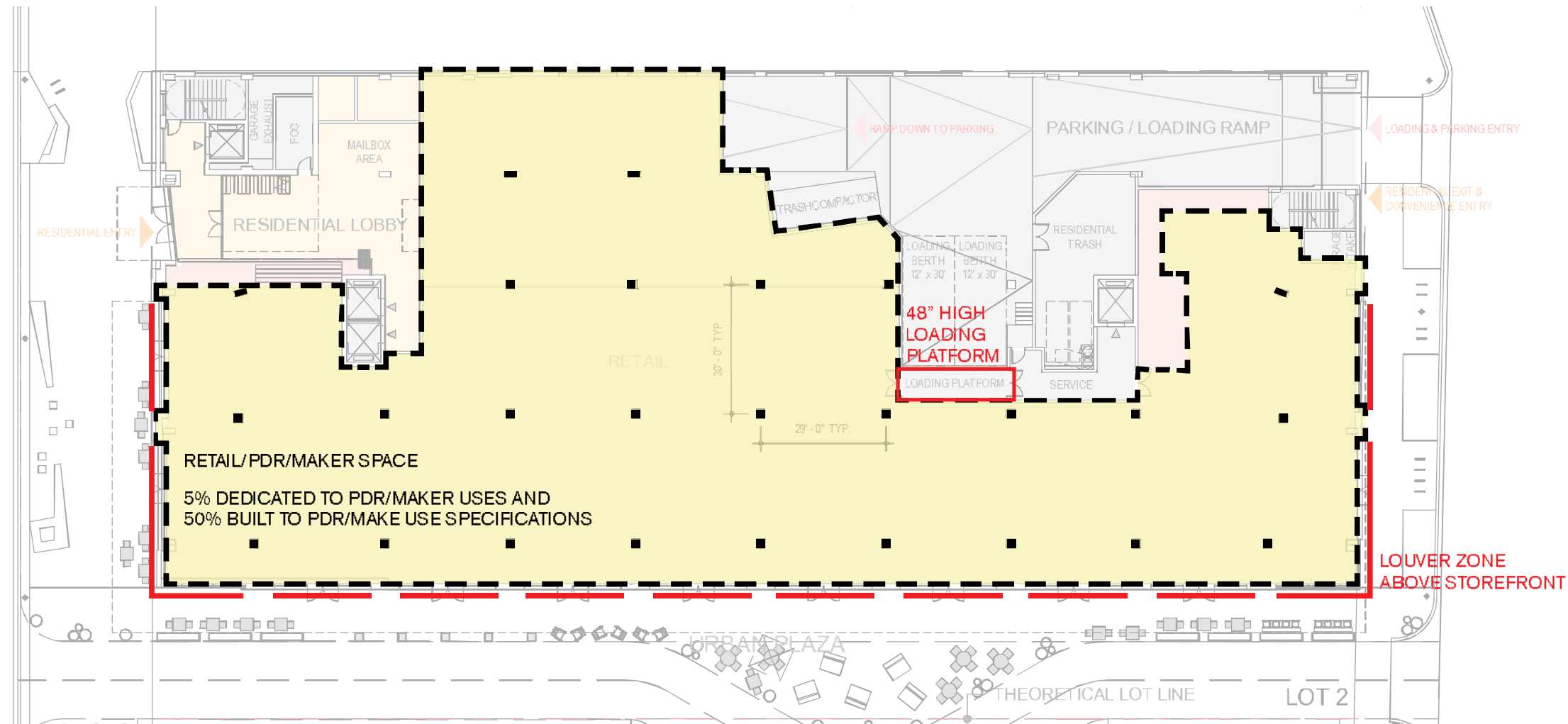
Signature: _____ Date: _____
 Printed Name: _____ Relationship to Lot Owner: _____
 If a registered design professional, provide license number _____ and include stamp below.

Surveyor, D.C.



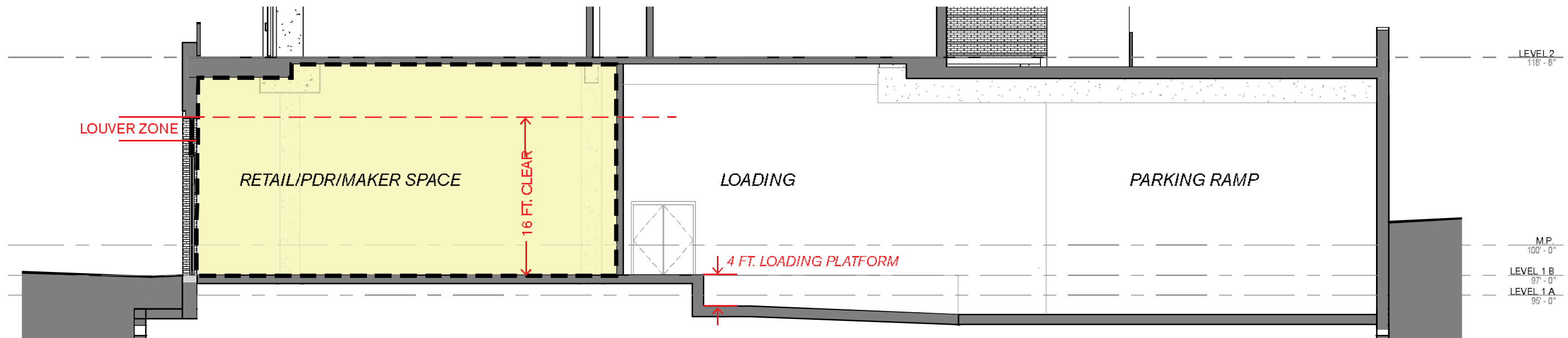
SR-19-05033(2019)
* E-MAIL

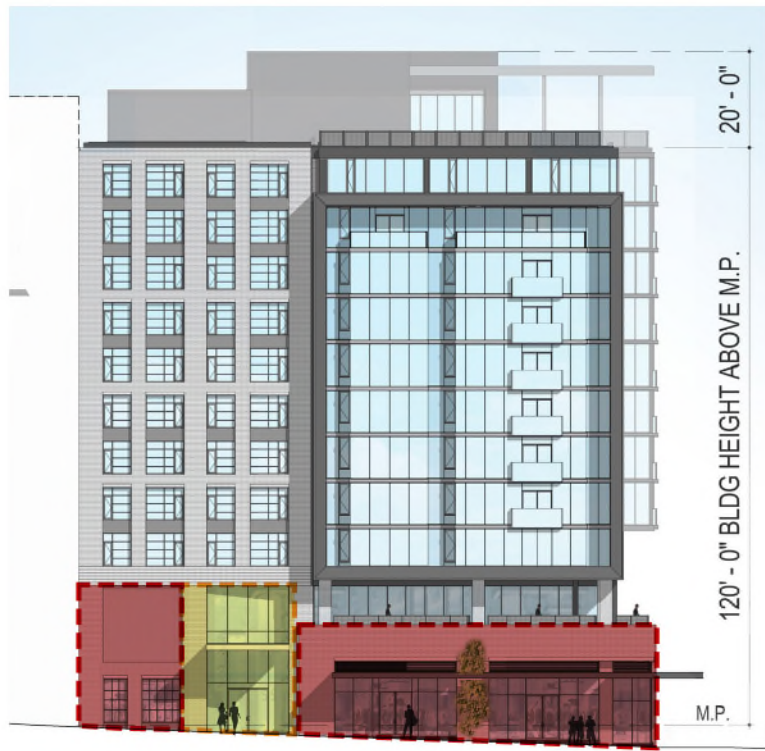
DRAWING NOT TO SCALE, USE GRAPHICAL SCALE



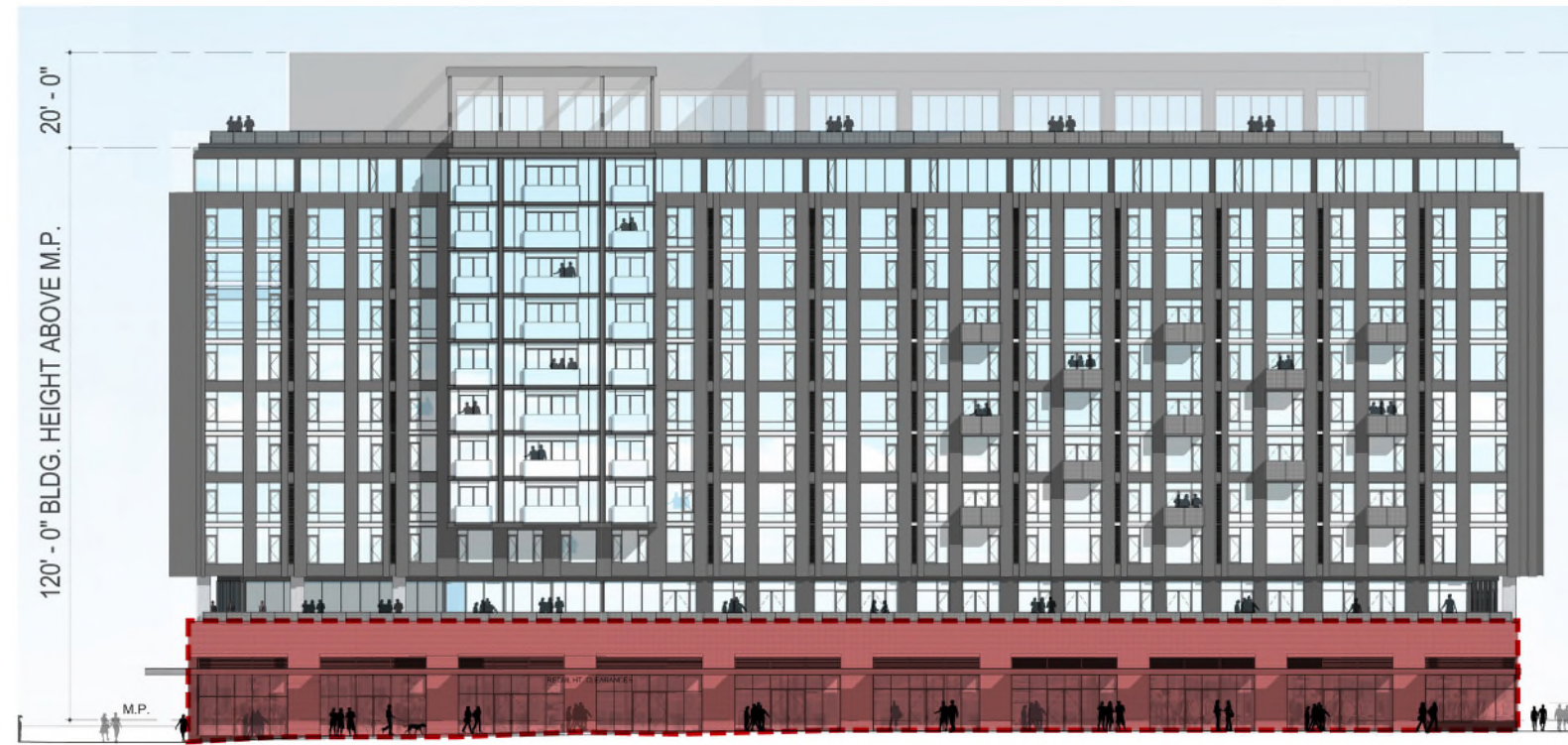
NOTES:

- a. Ground Level structural slab live load designed to a minimum of 125 psf.
- b. Minimum Clear Height of approximately 16'-0" from ground level slab to structure above.
- c. Electrical supply of 50 watts per square foot shall be provided.
- d. Loading dock includes 48" high platform.
- e. The Retail/PDR/Maker space is an open floor plan.
- f. Sound attenuation for the Retail/PDR/Maker space will satisfy the NC-25 minimum noise criteria and a concrete slab with a minimum thickness of 7" is provided between the ground level and second level of the building
- g. HVAC system sized to accommodate the 1 ton per 300 square feet shall be provided
- h. A louver zone has been provided at the perimeter of the ground floor Retail/PDR/Maker space.

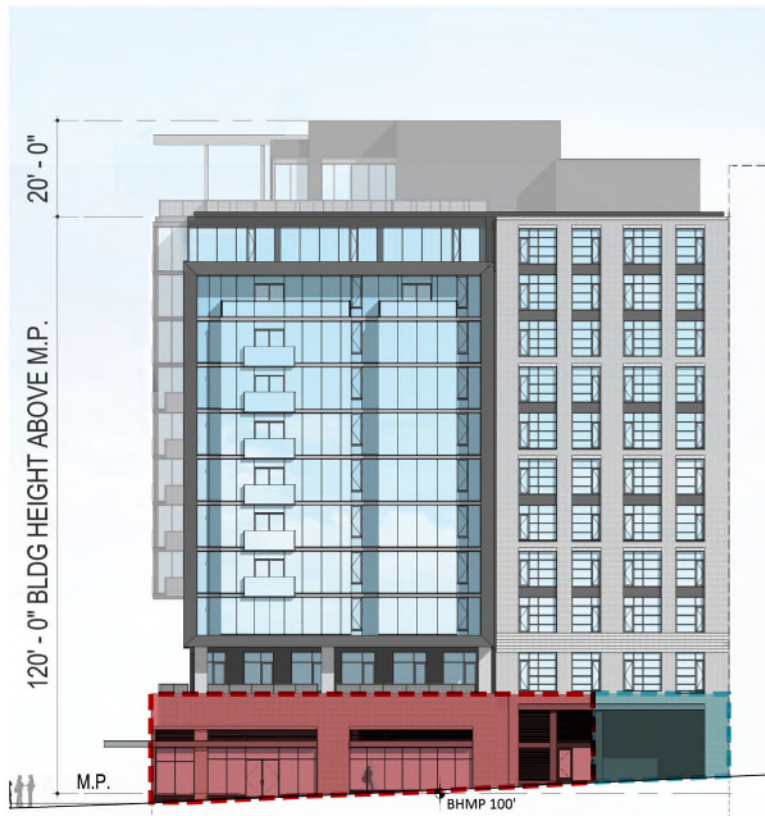




1. WEST



2. SOUTH



3. EAST



4. NORTH

- POTENTIAL MURAL ZONE
- RETAIL SIGNAGE AREA
- RESIDENTIAL SIGNAGE AREA
- PARKING SIGNAGE AREA

1329 5TH STREET, NE SECOND-STAGE PUD | 08.30.2019



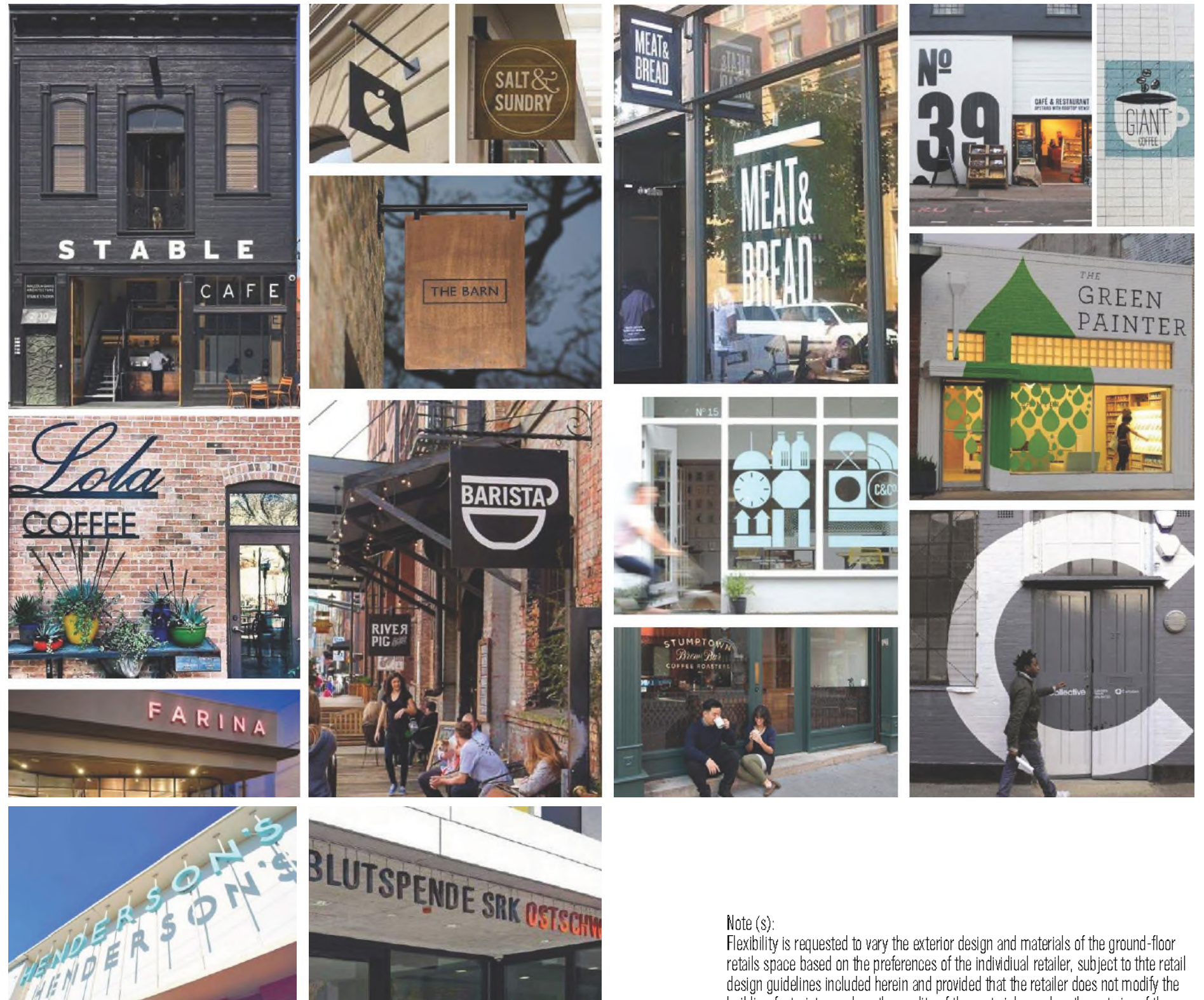
SIGNAGE EXHIBIT - ELEVATIONS SG 1

RETAIL SIGNAGE GUIDELINES

Retail tenants will be required to submit their signage and storefront designs to Edens for review and approval prior to applying for permits from the District. The owner will regulate the external design and appearance of the retail tenants in a manner so as to preserve and maintain the design integrity of the building, while acknowledging the city's efforts to create a vibrant retail zone around the Union Market with an enhanced streetscape experience.

1. Retail tenants will be encouraged to create individual designs for their storefronts and signage. Where tenants do not have an individual design or brand, the owner will work closely with the tenant to develop one.
2. Retail signage and storefronts will be comprised of materials and colors that complement the materials and design of the base building.
3. Retail signage will be permitted based on tenant needs.
4. Retail tenants may employ a wide variety of building materials in the design of their storefront and signage. However, tenants will be required to use high quality materials, as determined by the owner. Where possible, the owner will work closely with retail tenants to maximize the use of glazing in the storefront design.
5. Sign area will be regulated by the DC Construction Codes (12 DCMR).
6. Signage and storefront illumination is encouraged by owner so long as building design integrity is maintained. Illumination will be acceptable per owner approval and in accordance with local regulations.
7. The locations of doors and windows for retail tenants will be established as part of the storefront design. However, doors and windows to base building areas (such as lobbies, exit stairs and service areas) will be established by the owner during base building design. Tenants will be encouraged to make efforts to integrate the existing building and character into the design of the storefronts.
8. Retail tenants will not be permitted to extend the building footprint, although tenants may with the owner's permission apply for public space permits to allow for unenclosed encroachments into the public ROW (such as for a cafe permit).

Nothing herein will be constructed to preempt any local or federal code or regulation.



Note (s):
Flexibility is requested to vary the exterior design and materials of the ground-floor retail space based on the preferences of the individual retailer, subject to the retail design guidelines included herein and provided that the retailer does not modify the building footprint or reduce the quality of the materials used on the exterior of the ground floor of the project. All signs to comply with DC Municipal Regulations Title 12, Sections 3107 and N101.

RESIDENTIAL PROJECT IDENTIFICATION SIGNAGE GUIDELINES

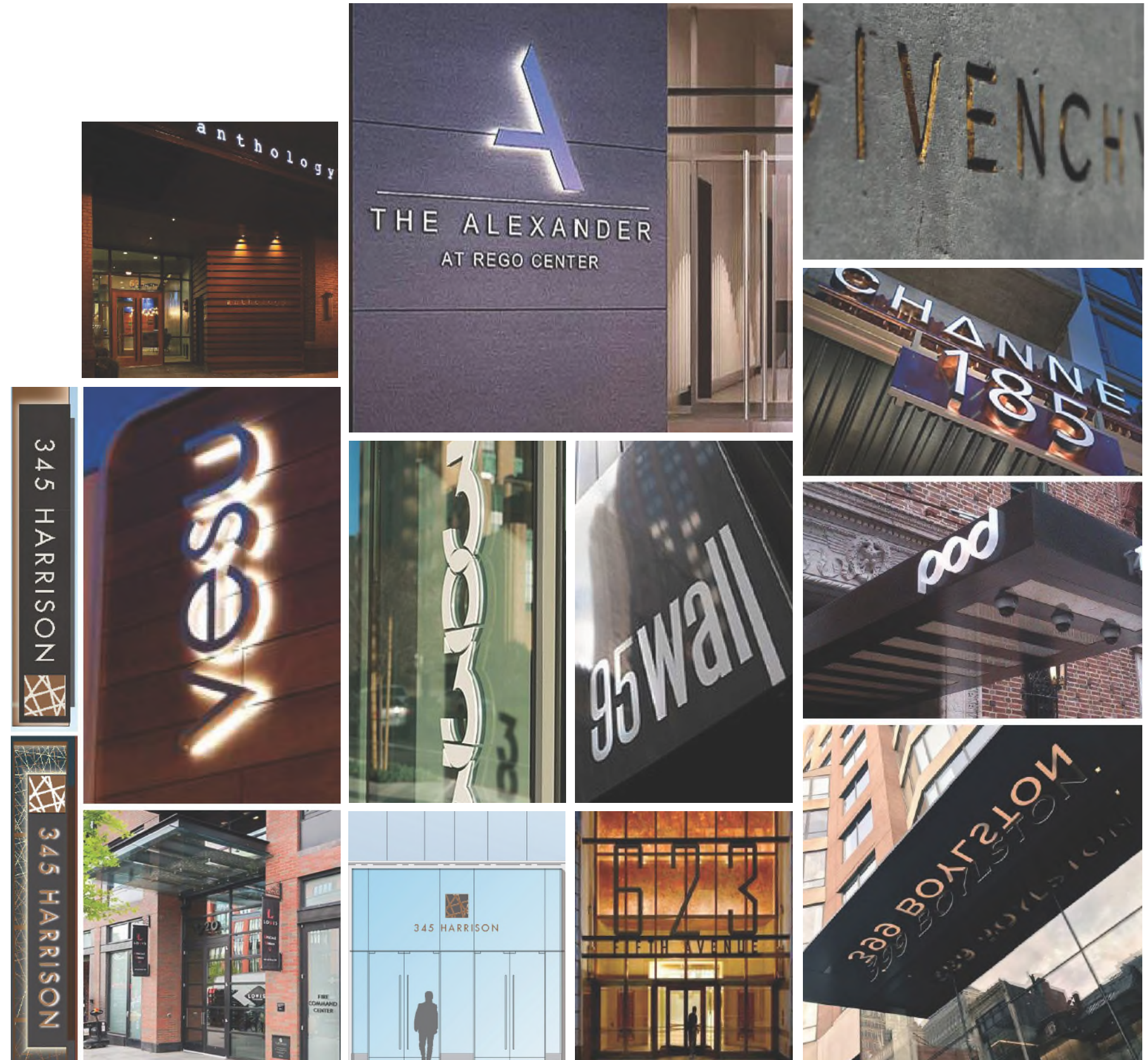
The permanent signage for the residential portion of the project will be developed along with the design of the building entrance, and both will be part of a cohesive building identity and branding effort.

All permanent signage is to be of the highest quality construction (this shall not prevent re-use of vintage or intentionally distressed signage provided it is operating property and in good order). Signs may be lighted, including LEDs or comparable technology. Illumination and materiality of the signage will be complementary to the design of the building.

The permanent signage identifying the residential portion of the project will be restricted to the area around the building entrance on 5th Street NE, as identified on the plans, and will not extend above the second floor. Sign area will be regulated by the DC Construction codes (12 DCMR).

Nothing herein will be constructed to preempt any local or federal code or regulation.

Note (s):
Flexibility is requested to vary the exterior design and materials of the ground-floor retail space based on the preferences of the individual retailer, subject to the retail design guidelines included herein and provided that the retailer does not modify the building footprint or reduce the quality of the materials used on the exterior of the ground floor of the project. All signs to comply with DC Municipal Regulations Title 12, Sections 3107 and N101.



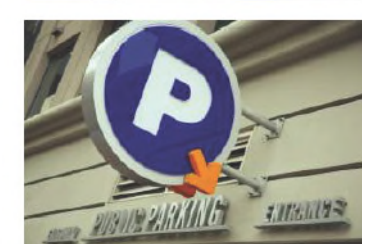
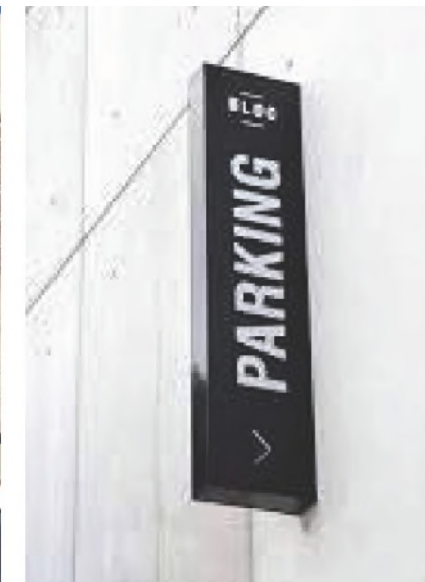
GARAGE WAYFINDING SIGNAGE GUIDELINES

Wayfinding signage will be used to facilitate vehicular movement from 6th Street NE into the building, accommodating both visitors to the project and truck deliveries. This signage will be developed alongside and consistent with the design of the parking garage entrance. In addition, the process of designing and locating this signage will include working with DDOT to ensure that it effectively guides vehicular traffic into the building.

All permanent signage will be of the highest quality construction (this shall not prevent re-use of vintage or intentionally distressed signage provided it is operating properly and in good order). Signs may be lighted, including LEDs or comparable technology. Illumination and materiality of the signage will be complementary to the design of the building.

The wayfinding signage for the project's parking garage will be restricted to the exterior wall along 6th Street between the stair exit and lower zone and the Northeast corner of the building. Sign area will be regulated by the DC Construction Codes (12 DCMR).

Nothing herein will be constructed to preempt any local or federal code or regulation.



Note (s):
Flexibility is requested to vary the exterior design and materials of the ground-floor retail space based on the preferences of the individual retailer, subject to the retail design guidelines included herein and provided that the retailer does not modify the building footprint or reduce the quality of the materials used on the exterior of the ground floor of the project. All signs to comply with DC Municipal Regulations Title 12, Sections 3107 and N101.